

INFRASTRUCTURE ASSESSMENT AUDIT FOR SUVA – NAUSORI URBAN SCHOOL

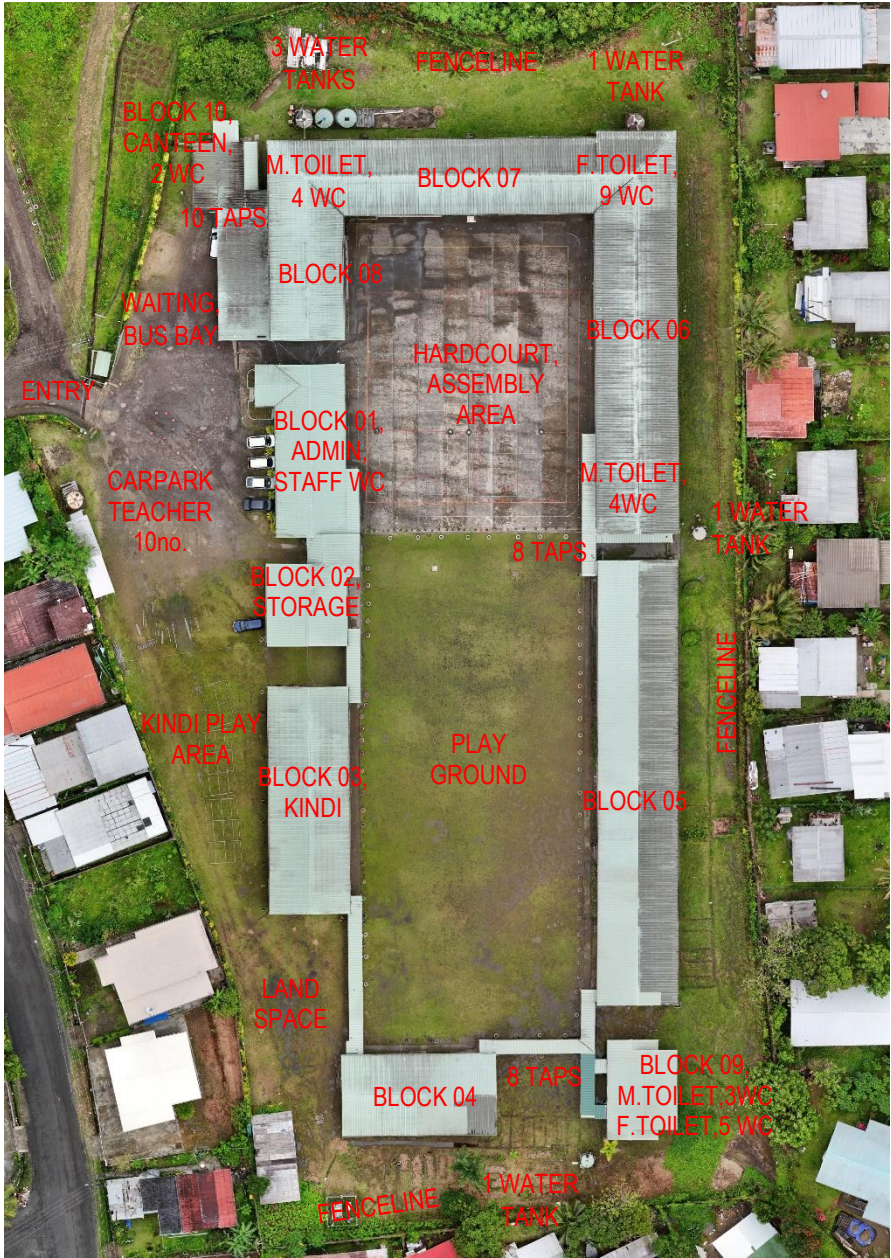



CHRISTIAN MISSION FELLOWSHIP PRIMARY SCHOOL (9862) SUMMARY REPORT



TABLE OF CONTENTS

1)	INSPECTION SUMMARY	3
2)	ASSESSMENT OF OVERCROWDING	4
3)	EXISTING INFRASTRUCTURE CONDITIONS	5
4)	WATER SANITATION HYGIENE (WASH) FACILITIES	8
5)	DISASTER RESILIENCE ASSESSMENT	10
6)	ACCESSIBILITY ASSESSMENT	11
7)	SUMMARY OF FINDINGS.....	12
8)	RECOMMENDATIONS	13
9)	COMPLIANCE.....	13
10)	APPENDIX.....	13

1) INSPECTION SUMMARY

School Inspection Summary	
School name:	CHRISTIAN MISSION FELLOWSHIP PRIMARY SCHOOL
Overall condition state:	FAIR
Key recommendations:	
<ul style="list-style-type: none"> • Overcrowding – only some rooms deemed overcrowded based on 2sqm per student basis. • Overcrowding – 3 new classrooms required based on recommended sizing (1.5m²) • Accessibility – wheel chair ramps required at corridor & classroom access and new disable toilet cubicle. • WASH – one new ablution block to have four water closets with two shower cubicles complete with two hand basins for Boys and eight water closets with two shower cubicles complete with two hand basins for Girls • Safety – new fire fighting equipment required. • Lighting – 50no. 4 feet ceiling tube lights for classrooms. Replace bulb fittings. 	
Comments:	
<p>Major defects were noted as follows:</p> <ul style="list-style-type: none"> • All classroom doors to be replaced. • Senior Girls and Boys toilet block all cubicle doors to be replaced. 	
Aerial view of school	General view of school
	 <p>FENCED COMPOUND</p>  <p>HARDSTAND & PLAY GROUND</p>  <p>LINKED CORRIDOR</p>

School type:	Primary	✓	Secondary		Year levels	ECE,1,2,3,4,5,6,7,8
School address:						
School enrolment and staff figures (2024)	No. of Students (Male)	No. of Students (Female)	No. of Students with Disability	No. of Teachers (Male)	No. of Teachers (Female)	
	550	534	0	7	26	
School building arrangement	TOTAL NUMBER OF BUILDINGS: 10 BLOCKS BLOCK 01 – 1 LEVEL, BLOCK 02 – 1 LEVEL, BLOCK 03 – 1 LEVEL, BLOCK 04 – 1 LEVEL BLOCK 05 – 1 LEVEL, BLOCK 06 – 2 LEVELS, BLOCK 07–2 LEVELS, BLOCK 08–2 LEVELS BLOCK 09 – 1 LEVEL, BLOCK 10 – 1 LEVEL					
Local Government area:	NAWAME ROAD, TACIRUA EAST.					
Date of inspection:	31 ST JULY, 2024					
Inspection team:	LAITE TELAWA ALEKSIO MANOA RAJIV KUMAR SURAJ RAGHUNATH					
Data collection methods	Visual inspection		✓	Onsite measurement		✓
	Interviews with school staff		✓	Drone / aerial imagery		✓
	Survey form		✓	Desktop research		✓
	Other:					
Assumptions:	NONE					
Limitations:	SURVEY PLAN / TITLE CERTIFICATE - WITH SCHOOL BOARD AS BUILT PLANS EXISTING STRUCTURES – WITH SCHOOL BOARD SCHOOL BUDGET PLAN – WITH SCHOOL BOARD ABOVE DOCUMENTS NOT KEPT AT SCHOOL OFFICE.					

2) ASSESSMENT OF OVERCROWDING

An assessment for overcrowding was undertaken based on FNBC standards and 2024 enrolment data. The table below summarises the data collected through visual inspection and interrogation of enrolment data and compares this against the FNBC standard student to classroom size ratio of 2 m² per student.

The results of the assessment are based on the recommended sizing (1.5m²), according to 2024 data, an additional 3 classrooms are required for CMF Primary have achieved compliance with FNBC standards.

Year	Stream	Number of students	Current number of classrooms	Number of extra classrooms required based on FNBC on 2024 data
01	101	36	3	0
	102	37		
	103	34		
02	201	44	3	1
	202	41		
	203	43		
03	301	36	3	1
	302	42		
	303	39		
04	401	38	4	0
	402	37		
	403	38		
	404	37		

Year	Stream	Number of students	Current number of classrooms	Number of extra classrooms required based on FNBC on 2024 data
05	501	41	3	1
	502	39		
	503	42		
06	601	39	3	0
	602	42		
	603	39		
07	701	31	4	0
	702	30		
	703	33		
	704	31		
08	801	40	4	0
	802	39		
	803	40		
ECE	01	36	3	0
	02	33		
	03	32		
TOTAL		1185	29	0

3) EXISTING INFRASTRUCTURE CONDITIONS

Given the outlined procedure, the following observations were made:

Block Code	Length (m)	Width (m)	Height (m)	No. of Levels	Type	Room List
BLOCK 01	23	6.6, 8	3.2	1	Block 01 constructed out of concrete slab raised above ground level and block walls for both external & internal load bearing. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members.	Ground Floor Admin Office, Staff Room, Staff Male & Female WC, Storage, HOS
BLOCK 02	10	7.2, 9	3.4	1	Block 02 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members.	Ground Floor Optional Room – open space concept
BLOCK 03	30	7.2, 9	3.4	1	Block 03 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members.	Ground Floor 3no. Classrooms.
BLOCK 04	20	7.2, 9	3.4	1	Block 04 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members.	Ground Floor 2no. Classrooms.

Block Code	Length (m)	Width (m)	Height (m)	No. of Levels	Type	Room List
BLOCK 05	60	7.2, 9	3.4	1	Block 05 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members.	Ground Floor 6no. Classrooms.
BLOCK 06	45	7.2, 9	6.4	2	Block 06 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor.	Ground Floor 3no. Classrooms, Boys Toilet, Caretaker Room, Sick Bay. First Floor 3no. Classrooms, Library, Computer.
BLOCK 07	35	6.4, 8.5	6.4	2	Block 07 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor.	Ground Floor 4no. Classrooms, Boys Toilet, Girls Toilet, Tool Room. First Floor 4no. Classrooms, Language Room.
BLOCK 08	18	6.4, 8.5	6.4	2	Block 08 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor.	Ground Floor 2no. Classrooms. First Floor 2no. Classrooms.
BLOCK 09	12.5	6	3	1	Block 09 constructed out of concrete slab on ground and block walls for both external & internal load bearing. No doors at entry point. Louve glass on aluminium frame for windows. Gable roof with metal cladding and timber framed roof members.	Ground Floor Boys and Girls Toilet block.
BLOCK 10	9	5.5	3	1	Block 10 constructed out of concrete slab on ground and block walls for both external & internal partitions. Wide serve windows and access door on front face. Gable roof with metal cladding and timber framed roof members.	Ground Floor Canteen.

NOTE: Girls and Boys Toilets mentioned refers to a set of cubicles. Refer Breakdown under Section 4.

Summary Table for Classrooms

This table provides a quick overview of the assessment findings, helping to identify areas that need immediate attention and those that are in good condition. The following criteria was used:

Good	- No additional works / intervention required
Fair	- Remedial works required
Poor	- Demolition and replace with new

Assessment Area	Criteria	Conditions
Structural Integrity	Walls, ceiling, floor, foundation and roofs	Good
General upkeep	Exterior, interior, furniture and fixtures	Good
Safety compliance	Fire safety, electrical safety,	Fair
Disability	Accessibility	-
Ventilation and lighting	Ventilations, Natural Lighting, Artificial Lighting.	Good

Observations on Structural Elements

- **Wall and Ceiling** – All of the structures with block wall construction are in good condition. There was no signs of crack on walls. Block walls external and internal faces are plaster and paint finish. All of the structures with timber sub floor framing and timber wall framing are in good condition. Ceilings for all buildings are fixed to underside of roof framing. Ceiling integrity in good condition and paint finish.
- **Floor and Foundation** – All of the structures have no signs of ground settlement. Buildings with block wall have concrete slab on ground. Timber structures are raised above ground on pine stumps. No signs of rot.
- **Roof** – No major issue reported by school management with roof cladding for all structures. Most of the roofs receiving new coat of paint. No access to view roof framing and tie down connections.
- **Window & Door** – Windows for all structures have complete set of clear glass louver blades on aluminium frames. None of the windows have security mesh cover. Every classroom has timber framed door access. All classroom doors in good condition. Several toilet cubicle doors damaged.
- **Earthquake** – Rigid structure with beams and columns for two level structures.
- **Cyclone** – Roof framing tie down connections concealed.

Safety and compliance with standards

- **Fire Safety** – No fire hose reel present. Existing fire extinguishers needs to be replaced. The school management have provided Emergency exit plan and designated assembly. First aid kit available with admin office. Announcements and alerts conveyed through PA sound system that covers whole school.
- **Electrical Safety** – School electricity connected to EFL mains along Khalsa road. Safe and secured switchboard with circuit breakers located away from student reach. Accessed only by School admin. All lighting and power supply wiring concealed in conduits and inside ceiling space.
- **Accessibility** – Classrooms have wide access doors but most of them are overcrowded. Toilet cubicles are not user friendly for disable students. There is no disable student enrolled in school.

Lighting and Ventilation

- **Ventilation** – doors and windows present lengthwise of all classrooms. All classrooms have ceiling fan and all are operational. Condition of fans are poor. Air con for Admin office.
- **Natural Lighting** – adequate number of windows for all classrooms and offices.
- **Artificial Lighting** – inadequate number of ceiling light fittings for most the rooms. All functioning properly.

4) WATER SANITATION HYGIENE (WASH) FACILITIES

Condition of Toilets and Washrooms

The school management has allocated separate toilet blocks for Junior grade and Senior grade students. Students from first floor classrooms make way to use amenities at ground floor. General use taps are available at behind of Block 06, Block 08 and Block 09. The facilities have some minor defects such as:

- Cubicle doors for almost all of the water closets and showers for Block 09 Senior Girls and Boys toilet block have deteriorated and needs to be replaced with quality external grade joinery.

All flush systems for both Girls and Boys toilet and teacher's toilet functioning properly. Cubicle floor and walls provided with tiles and regularly cleaned.

The school's existing WASH facility ratio to students based on requirements under FNBC and current student roll does not comply to standards. Table below indicates the existing number of water closet cubicles and hand wash points;

TOILET CUBICLE(S)		No. of Cubicles		Toilet Ratio (1 cubicle: students)		Compliance of Student to Toilet Cubicle Ratio (FNBC).	
Building Index	Used by Years	Female (WC)	Male (WC)	Female Students	Male Students	Female Requirement (1:20) Extra WC?	Male Requirement (1:30) Extra WC?
BLOCK 01	STAFF & VISITORS	1	1	-	-	-	-
BLOCK 06	YEARS 01 TO 04 (185 pupils)	-	4	-	1:46	-	-
BLOCK 07	YEARS 01 TO 04 (556 pupils)	10	4	1:33	1:46	6	2
BLOCK 09	YEARS 07 TO 08 (283 pupils)	5	3	1:29	1:46	2	2
BLOCK 10	STAFF	1	1	-	-	-	-

HAND BASINS IN THE TOILET		No. of Hand Basins		Handbasin Ratio (1 HB: students)		Compliance of Student to Hand Basin Ratio (FNBC).	
Building Index	Used by Years	Female	Male	Female Students	Male Students	Female Requirement (1:60) Extra Handbasins?	Male Requirement (1:60) Extra Handbasins?
BLOCK 01	STAFF & VISITORS	1	1	-	-	-	-
BLOCK 06	YEARS 01 TO 04 (185 pupils)	-	3	-	1:61	-	0
BLOCK 07	YEARS 01 TO 04 (556 pupils)	6	5	1:55	1:37	0	0
BLOCK 09	YEARS 07 TO 08 (283 pupils)	3	3	1:48	1:46	0	0
BLOCK 10	STAFF	1	1	-	-	-	-

GENERAL OUTDOOR TAPS		No. of General Outdoor Taps	Outdoor Taps Ratio (1 tap: students)	Compliance of Student to Outdoor Taps Ratio Requirement (1:60) (FNBC) Does it require additional hand basins?
Building Index	Used by Years			
BLOCK 01	-	0	-	-
BLOCK 02	-	0	-	-
BLOCK 03	-	0	-	-
BLOCK 04	-	0	-	-
BLOCK 05	-	0	-	-
BLOCK 06	YR 04 TO 06 (388 pupils)	8	1:48	0
BLOCK 07	-	0	-	-
BLOCK 08	YR 01 TO 03, ECE (453 pupils)	10	1:45	0
BLOCK 09	YR 07 TO 08 (244 pupils)	8	1:30	0
BLOCK 10	-	0	-	-

5) DISASTER RESILIENCE ASSESSMENT

This infrastructure condition assessment aims to evaluate the architectural, structural, and non-structural features of the school to ensure it is resilient to natural disasters and provides a safe learning environment for students. The assessment also identifies areas for improvement and highlights the measures already in place to enhance overall resilience. FNBC 1990 and basic loading, wind and seismic AS/NZS codes typical details were utilized during and after inspection.

Architectural

- Layout: large wide door openings to all classrooms. Large floor space classrooms with large openings for windows and good ceiling height. Each classroom has ceiling mounted light frames and ceiling fans. Toilets and general use taps well distributed within premises to cover all school blocks. Some classrooms overcrowded.
- Central Location: The school is centrally located, allowing easy access to main streets and relief services.

Structural

- Material Quality: The school buildings were recently constructed and commissioned in late 2010s with reinforced concrete and block walls and metal cladding over timber roof framing. Timber structures constructed out of timber sub flooring raised on stumps and timber walls. Well maintained by School management.
- Structural Integrity: Buildings have demonstrated the capability to withstand and recover from natural disasters like earthquakes, category 3 cyclones, and floods. Roof framing members and tie down connections concealed.

Non-Structural

- Disaster Preparedness: Implementation of disaster evacuation plans, emergency exit routes, and safety protocols.
- Fire Safety: School has no fire hose reel. Fire extinguishers require servicing.

6) ACCESSIBILITY ASSESSMENT

I. Compliance with Accessibility Standards:

- Educational facilities did not meet accessibility standards, such as the Fiji Disable People Federation Access Audit Tool 1.0. This toolkit covers aspects like ramps, door widths, signage, and accessible routes, also the noncompliance extends beyond physical structures to digital accessibility.

II. Facilities for Students with Disabilities:

- Classrooms did not have adjustable seating arrangements, clear sightlines, and adequate space for mobility aids also including accessible desks and adjustable podiums.
- Laboratories are not able to accommodate students with various disabilities with the absence of adjustable lab benches, accessible sinks, and clear pathways.
- Libraries require accessible shelving, reading stations, and assistive technology (such as screen readers) to enhance library usability.
- Restrooms (WASH facilities) were wheelchair-accessible but does not have grab bars and sinks at an appropriate height.
- Common Areas: the cafeterias and outdoor spaces are not designed inclusively. Benches, seating areas, and a few pathways are not able to accommodate everyone.

III. Access to Classrooms, WASH Facilities, and Common Areas:

- Classrooms do not have wide doorways. Additionally, acoustics are not considered for students with hearing impairments. All classrooms are overcrowded.
- WASH Facilities do not have accessible restrooms. There is clear pathway to the wash facilities with wide corridor but no grab railings.
- Common areas like corridors, courtyards, and gathering spaces are not barrier-free and are without proper lighting and contrasting floor materials to aid navigation.

7) SUMMARY OF FINDINGS

The following summarizes the individual characteristics assessed during the Suva-Nausori school audit for Veiuto Primary School at Foreshore Road Nasese;

Categories of Assessment	Existing Condition / State	Required as per Standards	Gaps Observed
Existing Infrastructure Condition	<p>Structural Integrity Columns, slabs, beams, rafters, purlins of adequate size.</p> <p>General upkeep Overall safe and clean classrooms and compound. No major defects except for timber doors for all classrooms have deteriorated.</p> <p>Safety compliance Handrails to all corridor and steps in good condition. Safety signs provided in corridor and steps.</p> <p>Disability No consideration when constructed</p> <p>Ventilation and lighting Adequate number and size of windows and lighting of classrooms. Ceiling fan provided for all classrooms.</p>	<p>Structural Integrity Columns, slabs, beams, rafters, purlins sizes to follow FNBC 1990.</p> <p>General upkeep Routine check as per MOE policies with major defects requiring immediate intervention.</p> <p>Safety compliance Handrails, extra doors and signage where necessary.</p> <p>Disability To comply with FDPF Disability audit tool</p> <p>Ventilation and lighting Adequate windows and doors required as per FNBC 1990.</p>	<p>Structural Integrity Roof framing tie down connections to be checked & assessed.</p> <p>General upkeep All classroom doors and Senior grade toilet block cubicle doors to be replaced.</p> <p>Safety compliance Limited fire fighting equipment.</p> <p>Disability Not fully compliant with FDPF Disability audit tool</p> <p>Ventilation and lighting Rooms with bulb lighting to be changed to tube lights.</p>
Assessment of Overcrowding	Some classrooms are overcrowded. Teacher to student ratio 1:40 on average.	FNBC 1990 requires classroom occupancy to have 2 sqm per person. Based on that, the required roll per classroom was calculated.	<p>- 6/26 classrooms were accommodating more roll than required.</p> <p>- Given the recommended sizing (1.5m²), about 3 extra classrooms are required to address overcrowding in school.</p>
Water Sanitation Hygiene (WASH) facilities	<p>Toilet to Student Ratio Girls (15 WC) – 1:38 Boys (11 WC) – 1:50 General use Taps to Student Ratio Students (26 taps) – 1:40 Water tank connected to every toilet block.</p> <p>Menstrual Hygiene kit available at admin office. Bins provided in Girls toilet.</p>	<p>Toilet to Student Ratio Girls – 1:30 Boys – 1:20 General use Taps to Student Ratio Students – 60:1 Current student ratio used is respective of 2024 enrolment numbers. Menstrual Hygiene kit to be present in every female washroom block.</p>	Based on current and expected increase in student roll: Girls to have extra 8no. WC cubicles, 2no. shower cubicles, 2no. taps. Boys to have extra 4no. WC cubicles, 2no. shower cubicles, 2no. taps. No wash tub present for Girls toilet. Clothes drying zone required.
Disaster Resilience Assessment	School building structures are resilient to natural disasters and have safety systems in place. Designated evacuation centre during disaster.	Fiji Building Code 1990. Requirement is that roof cladding be free of rust and fastened securely with type 17 cyclonic screws with neoprene washers.	No access to view roof cladding condition. No access to view roof framing tie down connections. More emergency route signs required.
Accessibility Assessment	Classroom access door 0.9m clear wide. Safety hand rails along corridor. All structures raised above ground. No accessible toilet.	The following are requirements from Fiji Disabled People's Federation Access Audit Tool: Ramps required wherever elevation with minimum 1:8 maximum 1:20, Walkway clearance handrails to be 0.76m to 0.9m. Doors and Door size minimum 0.9m. Steps clearance required of 1.2m and tread	Thorough upgrading of school amenities required to cater for disable students. No disable student enrolled.

		width of minimum 310mm. (National Building Code Table D2.1)	
--	--	---	--

8) RECOMMENDATIONS

In order to comply with the FNBC, the school will require the following:

- **Classrooms:** Fairly newly registered school built to serve central population of Nasinu. Based on the FNBC under section maximum Occupancy Table 3.1 states for School general classroom area to be based on 2.0 sqm per pupil; with this ratio some of classrooms have been deemed overcrowded. School committee have formulated an enrolment plan whereby there is limit to overcrowding. On average student to ratio per class is 40:1. Several schools situated along Khalsa corridor.
- **WASH Facilities:** It is highly recommended for Ministry to construct a new Ablution Block with Boys having 4no. new water closets, 2no. shower cubicles and 2no. hand basins. Girls to have new 8no. water closets, 2no. shower cubicles and 2no. hand basins.
- **NFA Compliance:** School will require 12no. Class C fire extinguishers placed at strategic locations for all blocks and Admin office. School will require 4no. 50m fire hose reel placed at strategic locations to cover both concrete and timber blocks. There is no lab room or workshop in school.
- **Education Grant:** There is no student admittance fees collected by the school. Routine maintenance of school amenities depended on Free Education Grant given by the Ministry. Due to irregular intervals at which Grant is received, school operation is affected. Grant when received is used for infrastructure maintenance such as painting, roof repair, fence repair, windows and door repair, student desks and chair repair or replacement, maintenance staff pay, utility bills and office stationaries such as paper rims and printer inks. Grant is also used for Girls hygiene kit and toilet supply. All capital projects are funded by Church CMF members and CMF International such as recent Ablution block water tank raised platforms and Sports activities.
- **Accessibility:** Prioritize building accessibility features, such as ramps and handrails, to ensure compliance with standards. These features are vital for providing all students, including those with disabilities, with equal access to the school's facilities.

9) COMPLIANCE

Upon inspecting the school, the following conclusions were drawn:

- **MEHA Compliance:** No additional work required.
- **WASH Facilities:** School requires new ablution block to cater for both Girls and Boys.
- **Land Availability:** Ample land for new ablution block beside current ECE classrooms.
- **NFA Compliance:** School requires new fire fighting accessories.
- **WAF Compliance:** Drinking water supply connected to WAF main.
- **FNBC Compliance:** Roof framing tie down connections to be assessed.
- **NDMO Compliance:** More emergency route and safety signs required.
- **EFL Compliance:** Power supply connected to EFL mains along Khalsa Road.
- **DISABILITY Accessibility:** Classrooms and toilet blocks are not user friendly for disable students.

10) APPENDIX

Annex A - Site Inspection Report

Annex B – Excel Scoring Sheet

Annex C – Land Available for Expansion

Appendix A - Site Inspection Report

INFRASTRUCTURE ASSESSMENT AUDIT FOR SUVA – NAUSORI URBAN SCHOOL

CHRISTIAN MISSION FELLOWSHIP PRIMARY SCHOOL (9862) SITE INSPECTION REPORT



TABLE OF CONTENTS

List of Tables	3
List of Abbreviations	3
1) SCHOOL BACKGROUND	4
2) SCHOOL SITE PLAN (DRONE IMAGERY OF SCHOOL).....	7
3) VISUAL INSPECTION RESULTS – BLOCK 01	8
4) PHOTOGRAPHIC REPORT – BLOCK 01	9
5) VISUAL INSPECTION RESULTS – BLOCK 02	10
6) PHOTOGRAPHIC REPORT – BLOCK 02	11
7) VISUAL INSPECTION RESULTS – BLOCK 03	12
8) PHOTOGRAPHIC REPORT – BLOCK 03	13
9) VISUAL INSPECTION RESULTS – BLOCK 04	14
10) PHOTOGRAPHIC REPORT – BLOCK 04	15
11) VISUAL INSPECTION RESULTS – BLOCK 05	16
12) PHOTOGRAPHIC REPORT – BLOCK 05	17
13) VISUAL INSPECTION RESULTS – BLOCK 06	18
14) PHOTOGRAPHIC REPORT – BLOCK 06	19
15) VISUAL INSPECTION RESULTS – BLOCK 07	21
16) PHOTOGRAPHIC REPORT – BLOCK 07	22
17) VISUAL INSPECTION RESULTS – BLOCK 08	24
18) PHOTOGRAPHIC REPORT – BLOCK 08	25
19) VISUAL INSPECTION RESULTS – BLOCK 09 TOILET BLOCK SENIOR GIRLS AND BOYS	26
20) PHOTOGRAPHIC REPORT – BLOCK 09 TOILET BLOCK SENIOR GIRLS AND BOYS	27
21) VISUAL INSPECTION RESULTS – BLOCK 10	28
22) PHOTOGRAPHIC REPORT – BLOCK 10	29
23) BUILDING AND TOILET BLOCKS ACCESS INFORMATION FOR DISABILITY AUDITS.....	30

List of Tables

- Table 1: SCHOOL DETAILS
- Table 2: SCHOOL ENROLMENT FIGURES
- Table 3: 2024 CLASSROOM ENROLLMENT DETAILS

List of Abbreviations

NRWM	NRW MACALLAN (FIJI) PTE LTD
MOE	MINISTRY OF EDUCATION
TT	TETRA TECH INTERNATIONAL DEVELOPMENT PTY LTD
DFAT	DEPARTMENT OF FOREIGN AFFAIRS AND TRADE (AUSTRALIA)
FEG	FREE EDUCATION GRANT
OHS	OCCUPATIONAL HEALTH AND
NFA	NATIONAL FIRE AUTHORITY
WAF	WATER AUTHORITY OF FIJI
NBC	NATIONAL BUILDING CODE
NDMO	NATIONAL DISASTER MANAGEMENT OFFICE
EFL	ENERGY FIJI LIMITED

1) SCHOOL BACKGROUND

CMF Primary School began its early years from World Harvest Centre Kinoya. The new infrastructure for the school was built with the assistance of the Government and the determination of the CMF church members to fulfill a mission to continuously serve the people of the nation. School caters for Year 01 to Year 08 students and has three Kindergarten classes too.

The school serves greater part of Nasinu with most of the students coming from informal settlements and housing units. School consists of students from CMF church members and over 50% of total students are from other various denominations.

School gets Annual Free Education Grant from the Education Ministry. Grant is utilized for school building maintenance such as painting, roof repair, fence repair, windows and doors repair, student desks and chairs repair or replacement, maintenance staff pay, utility bills and office stationaries such as paper for tests and ink for printers. No school fees collected by management.

Table 1: SCHOOL DETAILS

NAME OF SCHOOL	Christian Mission Fellowship Primary School
SCHOOL REGISTRATION NUMBER	9862
SCHOOL LOCATION	Nawame Road, Tacirua East.
SCHOOL TYPE	Primary
FEEDER SCHOOL	-
DATE OF INSPECTION	31 st July 2024
MILESTONE	(51 / 86 SCHOOLS)
INSPECTED BY (TEAM 4)	Rajiv Kumar
	Laite Telawa
	Aleksio Manoa
	Suraj Raghunath

Table 2: SCHOOL ENROLMENT FIGURES

Year of Enrolment	Number of Students			Students with Disability	Number of Teachers			Comments
	Male	Female	Total		Male	Female	Total	
2024	550	534	1084	0	7	26	33	<ul style="list-style-type: none"> 26no. Class rooms 3no. ECE rooms Student to stream average ratio is 40 :1 for 2024 school calendar. WASH ratio Boys WC 50:1 Girls WC 38:1 Taps 40:1 Evacuation Centre designated by NDMO.
2023	547	507	1054	0	9	25	34	
2022	533	500	1033	0	8	25	33	
2021	520	491	1011	0	7	26	33	
2020	493	474	967	0	5	27	32	
2019								

Table 3: 2024 CLASSROOM ENROLLMENT DETAILS

BLOCK # / FLOOR GF, FF	GRADE	CLASS NUMBER	TOTAL STUDENT ROLL	NUMBER OF TEACHERS	DIMENSIONS (m)		ACCESS WAY COUNT		OVER CROWDING
					LENGTH	WIDTH	NO. OF DOORS	NO. OF WINDOWS	
06 / GF	Year 01	101	36	1	10	7.2	2	18	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
06 / GF		102	37	1	10	7.2	2	18	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
06 / GF		103	34	1	10	7.2	2	18	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
07 / GF	Year 02	201	44	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / GF		202	41	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / GF		203	43	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / GF	Year 03	301	36	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
08 / GF		302	42	1	8.5	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
08 / GF		303	39	1	8.5	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
08 / FF	Year 04	401	38	1	8.5	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
08 / FF		402	37	1	8.5	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / FF		403	38	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / FF		404	37	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / FF	Year 05	501	41	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
07 / FF		502	39	1	8.8	6.4	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
06 / FF		503	42	1	10	7.2	2	18	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
06 / FF	Year 06	601	39	1	10	7.2	2	18	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
06 / FF		602	42	1	10	7.2	2	18	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
05 / GF		603	39	1	10	7.2	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
05 / GF	Year 07	701	31	1	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
05 / GF		702	30	1	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
05 / GF		703	33	1	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
05 / GF		704	31	1	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
05 / GF	Year 08	801	40	1	10	7.2	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
04 / GF		802	39	1	10	7.2	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
04 / GF		803	40	1	10	7.2	2	16	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
03 / GF	ECE	01	36	2	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
03 / GF		02	33	2	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
03 / GF		03	32	2	10	7.2	2	16	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Under NBC requirement, type of use general classroom 2.0 sqm per pupil.									

3) VISUAL INSPECTION RESULTS – BLOCK 01

Building Index		BLOCK 01				Year built: 2011 (Age: over 10 years old)	
Type:	Ground Floor: Admin Office, Staff Room, Staff Male & Female WC, Storage, HOS					No. of Levels: 1	
Dimensions		Length (m): 23m	Width (m): 6.6, 8m			Height (m): 3m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ¹	Fair ²	Poor ³	Structure Type ⁴	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Concrete	No signs of crack. Paint finish.	
4	Columns	x			-		
5	Beams	x			Concrete	No signs of crack. Paint finish.	
6	Floor	x			Concrete	No signs of crack. Tiled finish.	
7	Handrails	x			Metal tubing	Safe height. No damage. Paint finish.	
8	Walkway(s)					Sheltered walkway.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					No taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments <ul style="list-style-type: none">● Block 01 constructed out of concrete slab raised above ground level and block walls for both external & internal load bearing. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Exit corridor 1.4m clear. Natural light and ventilation satisfactory. Structure well maintained by school committee. Access is not wheelchair friendly.● Adequate tube lights and ceiling fan and air cons present.● Block 01 Staff Male wash room – 1no. water closet, 1no. tap Block 01 Staff Female wash room – 1no. water closet, 1no. tap, sanitary bin. Recommendations <ul style="list-style-type: none">● Block 01 main roof to receive new paint and gutters to be cleaned.● Block 01 requires new fire extinguishers with regular tests. New fire hose reel required to cover timber classroom blocks.							

¹ Good - No additional works / intervention required

² Fair - Remedial works required – min CAT 3 standard

³ Poor - Demolition and replace with new - min CAT 4 standard

⁴ Type of structure - Timber/concrete/steel

4) PHOTOGRAPHIC REPORT – BLOCK 01

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 01



01. FRONT VIEW & ENTRY ACCESS TO ADMIN OFFICE.



02. SHELTERED WALKWAY, CORRIDOR TO HARD COURT.



03. PA SYSTEM, AIR CON UNITS, METAL RAILING.



04. ACCESS TO HOS OFFICE & BACK EXIT.



05. EXPOSED CEILING FOR MOST PART OF ADMIN BLOCK.



06. CARPARK FOR TEACHERS & PICK UP POINT.

5) VISUAL INSPECTION RESULTS – BLOCK 02

Building Index		BLOCK 02				Year built: 2014 (Age: over 10 years old)	
Type:	Ground Floor: Optional Room – open space concept					No. of Levels: 1	
Dimensions		Length (m): 10m	Width (m): 7.2, 9m			Height (m): 3.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ⁵	Fair ⁶	Poor ⁷	Structure Type ⁸	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Timber frame	No signs of split. Paint finish.	
4	Columns				-		
5	Beams	x			Timber frame	No signs of split. Paint finish.	
6	Floor	x			Timber frame	No signs of split. Bare surface.	
7	Handrails	x			Timber frame	No signs of split. Paint finish.	
8	Walkway(s)	x			Timber frame	Sheltered walkway.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					8 taps	Student – tap ratio = 5 : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments							
<ul style="list-style-type: none">● Block 02 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Exit corridor 1.8m clear. Natural light and ventilation satisfactory. Structure well maintained by school committee. Access is not wheelchair friendly.● Handful of tube lights and no ceiling fan. 8no. hand basins.● Block 02 used for occasional extra curriculum classes. Capacity 40 pupils.							
Recommendations							
<ul style="list-style-type: none">● Block 02 main roof to receive new paint and gutters to be cleaned.● Block 02 entry door panels to be replaced and new lock system.● Block 02 damaged ceiling to be replaced and roof leak to be fixed.● Block 02 walls, floor, ceiling, hand railing to receive new paint.● Block 02 add to existing with 2no. ceiling tube light. Space out evenly.● Block 02 requires new fire extinguishers with regular tests. New fire hose reel required to cover timber blocks.							

⁵ Good - No additional works / intervention required⁶ Fair - Remedial works required – min CAT 3 standard⁷ Poor - Demolition and replace with new - min CAT 4 standard⁸ Type of structure - Timber/concrete/steel

6) PHOTOGRAPHIC REPORT – BLOCK 02

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 02



01. SHELTERED WALKWAY LINKS TO EVERY BLOCK.



02. SIDE VIEW, STORMWATER DRAINAGE.



03. BACK VIEW, FLOOR RAISED ABOVE GL.



04. BARE SURFACE FLOOR, OPEN SPACE CONCEPT.



05. HAND BASINS ON BOTH SIDE WALLS.



06. DAMAGED CEILING DUE TO ROOF LEAK.

7) VISUAL INSPECTION RESULTS – BLOCK 03

Building Index		BLOCK 03				Year built: 2014 (Age: over 10 years old)	
Type:	Ground Floor: 3no. Classrooms.					No. of Levels: 1	
Dimensions		Length (m): 30m	Width (m): 7.2, 9m			Height (m): 3.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ⁹	Fair ¹⁰	Poor ¹¹	Structure Type ¹²	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Timber frame	No signs of split. Paint finish.	
4	Columns				-		
5	Beams	x			Timber frame	No signs of split. Paint finish.	
6	Floor	x			Timber frame	No signs of split. Paint finish / Carpet finish.	
7	Handrails	x			Timber frame	No signs of split. Paint finish.	
8	Walkway(s)	x			Timber frame	Sheltered walkway.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					0 taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments							
<ul style="list-style-type: none">● Block 03 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Exit corridor 1.8m clear. Natural light and ventilation satisfactory. Structure well maintained by school committee. Access is not wheelchair friendly.● Handful tube lights and ceiling fans in each room.● Block 03 consists ECE 01, ECE 02, ECE 03. Total pupils 101.							
Recommendations							
<ul style="list-style-type: none">● Block 03 main roof to receive new paint and gutters to be cleaned.● Block 03 entry door panels to be replaced and new lock system.● Block 03 walls, floor, ceiling, hand railing to receive new paint. Carpet tiles to all rooms bonus.● Block 03 add to existing with 4no. ceiling tube light each room. Space out evenly. New 2no. taps with basin in corridor.● Block 03 requires new fire extinguishers with regular tests. New fire hose reel required to cover timber blocks.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

⁹ Good - No additional works / intervention required¹⁰ Fair - Remedial works required – min CAT 3 standard¹¹ Poor - Demolition and replace with new - min CAT 4 standard¹² Type of structure - Timber/concrete/steel

8) PHOTOGRAPHIC REPORT – BLOCK 03

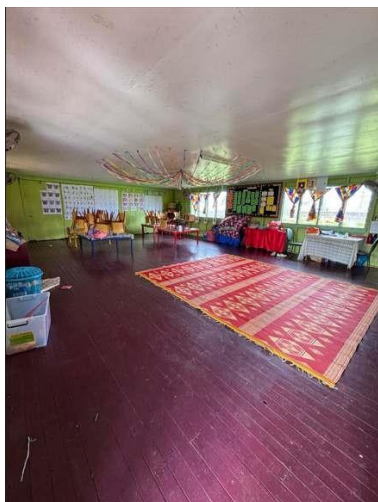
Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 03



01. FRONT VIEW ACCESS INTO ROOMS, CORRIDOR RAILING



02. BACK VIEW, FLOOR RAISED ABOVE GL.



03. ECE 01 ROOM FLOOR PAINT, CEILING FANS, FEW LIGHTS.



04. ECE 02 ROOM FLOOR CARPET, CEILING FANS, FEW LIGHTS.



05. SIDE VIEW, STORMWATER DRAINAGE.



06. ACCESS DOOR TYPICAL FOR EACH ROOM.

9) VISUAL INSPECTION RESULTS – BLOCK 04

Building Index		BLOCK 04				Year built: 2014 (Age: over 10 years old)	
Type:	Ground Floor: 2no. Classrooms.					No. of Levels: 1	
Dimensions		Length (m): 20m	Width (m): 7.2, 9m			Height (m): 3.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ¹³	Fair ¹⁴	Poor ¹⁵	Structure Type ¹⁶	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Timber frame	No signs of split. Paint finish.	
4	Columns				-		
5	Beams	x			Timber frame	No signs of split. Paint finish.	
6	Floor	x			Timber frame	No signs of split. Bare finish.	
7	Handrails	x			Timber frame	No signs of split. Paint finish.	
8	Walkway(s)	x			Timber frame	Sheltered walkway.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					0 taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater divert into nearby drain.	
Comments							
<ul style="list-style-type: none">● Block 04 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Exit corridor 1.8m clear. Natural light and ventilation satisfactory. Structure well maintained by school committee. Access is not wheelchair friendly.● Handful tube lights and ceiling fans in each room.● Block 04 consists Year 802, Year 803. Total pupils 79.							
Recommendations							
<ul style="list-style-type: none">● Block 04 main roof to receive new paint and gutters to be cleaned.● Block 04 entry door panels to be replaced and new lock system.● Block 04 walls, floor, ceiling, hand railing to receive new paint. Carpet tiles to all rooms bonus.● Block 04 add to existing with 4no. ceiling tube light each room. Space out evenly. New 2no. taps with basin in corridor.● Block 04 requires new fire extinguishers with regular tests. New fire hose reel required to cover timber blocks.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

¹³ Good - No additional works / intervention required¹⁴ Fair - Remedial works required – min CAT 3 standard¹⁵ Poor - Demolition and replace with new - min CAT 4 standard¹⁶ Type of structure - Timber/concrete/steel

10) PHOTOGRAPHIC REPORT – BLOCK 04

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 04



01. FRONT VIEW ACCESS INTO ROOMS, CORRIDOR RAILING



02. BACK VIEW, FLOOR RAISED ABOVE GL.



03. SIDE VIEW, STORMWATER DRAINAGE.



04. BARE SURFACE FLOOR, CEILING FANS, FEW LIGHTS.



05. TIMBER TRUSS SYSTEM.



06. FIRE EXTINGUISHER IN EACH ROOM.

11) VISUAL INSPECTION RESULTS – BLOCK 05

Building Index		BLOCK 05				Year built: 2014 (Age: over 10 years old)	
Type:	Ground Floor: 6no. Classrooms.					No. of Levels: 1	
Dimensions		Length (m): 60m	Width (m): 7.2, 9m			Height (m): 3.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ¹⁷	Fair ¹⁸	Poor ¹⁹	Structure Type ²⁰	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Timber frame	No signs of split. Paint finish.	
4	Columns				-		
5	Beams	x			Timber frame	No signs of split. Paint finish.	
6	Floor	x			Timber frame	No signs of split. Bare surface.	
7	Handrails	x			Timber frame	No signs of split. Paint finish.	
8	Walkway(s)	x			Timber frame	Sheltered walkway.	
9	Services – water supply					Tapped off WAF main foreshore road	
10	Available taps for general use (excl. taps in toilets)					0 taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments <ul style="list-style-type: none">● Block 05 constructed out of timber floor framing raised above ground on stumps and timber framed walls for both external & internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Exit corridor 1.8m clear. Natural light and ventilation satisfactory. Structure well maintained by school committee. Access is not wheelchair friendly.● Handful tube lights and ceiling fans in each room.● Block 05 consists Year 603, Year 701, Year 702, Year 703, Year 704, Year 801. Total pupils 204.							
Recommendations <ul style="list-style-type: none">● Block 05 main roof to receive new paint and gutters to be cleaned.● Block 05 entry door panels to be replaced and new lock system.● Block 05 walls, floor, ceiling, hand railing to receive new paint. Carpet tiles to all rooms bonus.● Block 05 add to existing with 4no. ceiling tube light each room. Space out evenly. New 4no. taps with basin in corridor.● Block 05 requires new fire extinguishers with regular tests. New fire hose reel required to cover timber blocks.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

¹⁷ Good - No additional works / intervention required¹⁸ Fair - Remedial works required – min CAT 3 standard¹⁹ Poor - Demolition and replace with new - min CAT 4 standard²⁰ Type of structure - Timber/concrete/steel

12) PHOTOGRAPHIC REPORT – BLOCK 05

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 05



01. SHELTERED WALKWAY TO BLOCK.



02. BACK VIEW, FLOOR RAISED ABOVE GL.



03. SIDE VIEW, STORMWATER DRAINAGE.



04. YEAR 801 BARE SURFACE FLOOR, CEILING FANS, FEW LIGHTS.



05. YEAR 704 BARE SURFACE FLOOR, CEILING FANS, FEW LIGHTS.



06. YEAR 603 BARE SURFACE FLOOR, CEILING FANS, FEW LIGHTS.

13) VISUAL INSPECTION RESULTS – BLOCK 06

Building Index		BLOCK 06				Year built: 2011 (Age: over 10 years old)	
Type:	Ground Floor: 3no. Classrooms, Boys Toilet, Caretaker Room, Sick Bay First Floor : 3no. Classrooms, Library, Computer					No. of Levels: 2	
Dimensions		Length (m): 45m		Width (m): 7.2, 9m		Height (m): 6.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ²¹	Fair ²²	Poor ²³	Structure Type ²⁴	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Concrete	No signs of crack. Paint finish.	
4	Columns	x			Concrete	No signs of crack. Paint finish.	
5	Beams	x			Concrete	No signs of crack. Paint finish.	
6	Floor	x			Concrete	No signs of crack. Tiled finish.	
7	Handrails	x			Metal pipes	Safe height. No damage. Paint finish.	
8	Walkway(s)					Corridor links two blocks.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					8 taps	Student – tap ratio = 50 : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments <ul style="list-style-type: none">● Block 06 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor. Exit corridor 1.8m clear. Natural light and ventilation satisfactory. Classrooms well maintained by school committee. Access is not wheelchair friendly.● Adequate tube/bulb lights in each room. Ceiling fans ground floor rooms.● Block 06 consists Year 101, Year 102, Year 103 ground floor. Total pupils 107. General use 8no. taps available on the side wall ground floor. Block 06 consists Year 503, Year 601, Year 602 first floor. Total pupils 123.● Block 06 Boys washroom – 4no. water closets, 2no. showers, 3no. tap, 1no. urinal. Ground floor.● Block 06 sick bay – 1no. water closet, 1no. shower. Ground floor.							
Recommendations <ul style="list-style-type: none">● Block 06 main roof to receive new paint and gutters to be cleaned.● Block 06 entry door panels to be replaced and new lock system. New 2no. taps with basin in corridor for first floor.● Block 06 requires new fire extinguishers with regular tests. New fire hose reel required to cover both floors.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

²¹ Good - No additional works / intervention required²² Fair - Remedial works required – min CAT 3 standard²³ Poor - Demolition and replace with new - min CAT 4 standard²⁴ Type of structure - Timber/concrete/steel

14) PHOTOGRAPHIC REPORT – BLOCK 06

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 06



01. BACK VIEW, STORMWATER DRAINAGE.



02. LIBRARY ROOM - TILED FLOOR, ADEQUATE LIGHTS, SPACE.



03. CORRIDOR WITH STAIRWELL BOTH ENDS.



04. YEAR 602 - TILED FLOOR, CEILING U/S ROOF FRAME.



05. YEAR 503 - PA SYSTEM TO ALL ROOMS.



06. COMPUTER LAB WELL VENTILATED & LIGHTS.

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 06



01. YEAR 103 - RIGID FRAME BEAMS & COLUMNS.



02. YEAR 101 - TILED FLOOR, ADEQUATE LIGHTS, SPACE.



03. TAPS ON SIDE WALL & WATER TANK SUPPLY.



04. SICK BAY TOILET, SHOWER, TAP, TILED FLOOR.



05. BOYS TOILET HAND BASINS,CUBICLES, FLOOR GRATING.



06. BOYS TOILET SSS URINAL.

15) VISUAL INSPECTION RESULTS – BLOCK 07

Building Index		BLOCK 07				Year built: 2011 (Age: over 10 years old)	
Type:	Ground Floor: 4no. Classrooms, Boys Toilet, Girls Toilet, Tool Room First Floor : 4no. Classrooms, Language Room					No. of Levels: 2	
Dimensions		Length (m): 35m		Width (m): 6.4, 8.5m		Height (m): 6.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ²⁵	Fair ²⁶	Poor ²⁷	Structure Type ²⁸	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Concrete	No signs of crack. Paint finish.	
4	Columns	x			Concrete	No signs of crack. Paint finish.	
5	Beams	x			Concrete	No signs of crack. Paint finish.	
6	Floor	x			Concrete	No signs of crack. Tiled finish.	
7	Handrails	x			Metal pipes	Safe height. No damage. Paint finish.	
8	Walkway(s)					Corridor links two blocks.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					0 taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments <ul style="list-style-type: none">● Block 07 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor. Exit corridor 2.0m clear. Natural light and ventilation satisfactory. Classrooms well maintained by school committee. Access is not wheelchair friendly.● Adequate tube/bulb lights in each room. Ceiling fans ground floor rooms.● Block 07 consists Year 201, Year 202, Year 203, Year 301 ground floor. Total pupils 164. General use taps on Block 08 back wall ground floor. Block 07 consists Year 403, Year 404, Year 501, Year 502 first floor. Total pupils 155.● Block 07 Boys washroom – 4no. water closets, 3no. showers, 5no. tap, 1no. urinal ground floor.● Block 07 Girls washroom – 9no. water closet, 5no. shower, 5no. taps ground floor.							
Recommendations <ul style="list-style-type: none">● Block 07 main roof to receive new paint and gutters to be cleaned.● Block 07 entry door panels to be replaced and new lock system. New 2no. taps with basin in corridor for first floor.● Block 07 requires new fire extinguishers with regular tests. New fire hose reel required to cover both floors.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

²⁵ Good - No additional works / intervention required²⁶ Fair - Remedial works required – min CAT 3 standard²⁷ Poor - Demolition and replace with new - min CAT 4 standard²⁸ Type of structure - Timber/concrete/steel

16) PHOTOGRAPHIC REPORT – BLOCK 07

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 07



01. ADJOINING CORRIDORS FOR TWO BLOCKS.



02. LANGUAGE ROOM – RIGID FRAME BEAMS & COLUMNS.



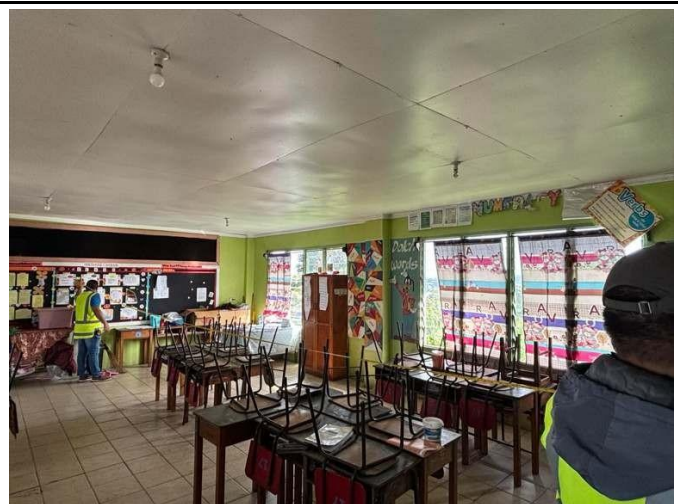
03. YEAR 403 TILED FLOOR, BULB LIGHTS.



04. YEAR 404 TILED FLOOR, BULB LIGHTS.



05. YEAR 501 CEILING U/S ROOF FRAME.



06. YEAR 502 CEILING U/S ROOF FRAME.

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 07



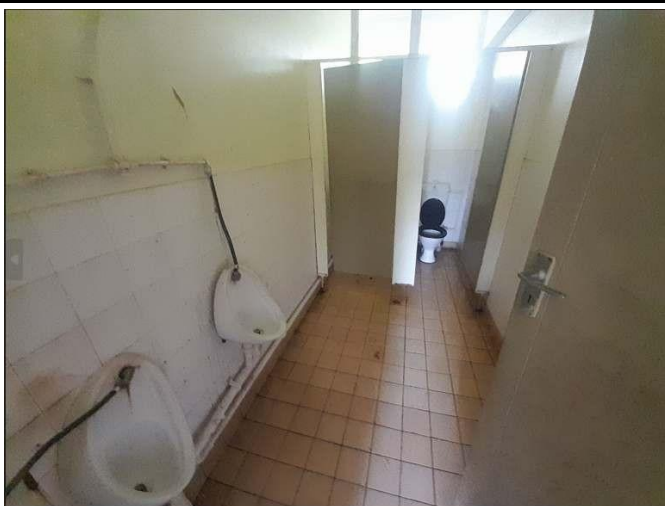
01. YEAR 301 - TILED FLOOR, CEILING FAN, LIGHTS.



02. WATER TANK SUPPLY CORNER OF BLOCK 07.



03. BOYS TOILET HAND BASINS, TILED FLOOR & WALL.



04. BOYS TOILET URINALS, TOILET CUBICLES, FLOOR GRATING.



05. GIRLS TOILET HAND BASINS, SAN BIN, FLOOR GRATING.



06. GIRLS TOILET SHOWER CUBICLES.

17) VISUAL INSPECTION RESULTS – BLOCK 08

Building Index		BLOCK 08				Year built: 2011 (Age: over 10 years old)	
Type:	Ground Floor: 2no. Classrooms First Floor : 2no. Classrooms					No. of Levels: 2	
Dimensions		Length (m): 18m		Width (m): 6.4, 8.5m		Height (m): 6.4m (GL to eaves)	
Existing State of Building							
REF. No.	Building Component	Good ²⁹	Fair ³⁰	Poor ³¹	Structure Type ³²	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Concrete	No signs of crack. Paint finish.	
4	Columns	x			Concrete	No signs of crack. Paint finish.	
5	Beams	x			Concrete	No signs of crack. Paint finish.	
6	Floor	x			Concrete	No signs of crack. Tiled finish.	
7	Handrails	x			Metal pipes	Safe height. No damage. Paint finish.	
8	Walkway(s)					Corridor links two blocks.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					10 taps	Student – tap ratio = 48 : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments <ul style="list-style-type: none">● Block 08 constructed out of concrete beams and columns with slab on ground and suspended floor slab for first floor. Block wall for external and internal partition walls. Doors and windows present on lengthwise of the structure. Gable roof with metal cladding and timber framed roof members. Staircase present both ends with hand rails for first floor. Exit corridor 2.0m clear. Natural light and ventilation satisfactory. Classrooms well maintained by school committee. Access is not wheelchair friendly.● Adequate tube/bulb lights in each room. Ceiling fans ground floor rooms.● Block 08 consists Year 302, Year 303 ground floor. Total pupils 81. General use 10no. taps on back wall ground floor. Block 08 consists Year 401, Year 402 first floor. Total pupils 75.							
Recommendations <ul style="list-style-type: none">● Block 08 main roof to receive new paint and gutters to be cleaned.● Block 08 entry door panels to be replaced and new lock system. New 2no. taps with basin in corridor for first floor.● Block 08 requires new fire extinguishers with regular tests. New fire hose reel required to cover both floors.● Refer to Table 03 on page 6 for classroom dimension and overcrowding details.							

²⁹ Good - No additional works / intervention required³⁰ Fair - Remedial works required – min CAT 3 standard³¹ Poor - Demolition and replace with new - min CAT 4 standard³² Type of structure - Timber/concrete/steel

18) PHOTOGRAPHIC REPORT – BLOCK 08

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 08



01. CLASSROOM EXIT INTO CORRIDOR.



02. YEAR 401 TILED FLOOR, BULB LIGHT.



03. YEAR 302 TILED FLOOR, CEILING FAN, LIGHTS.



04. YEAR 303 TILED FLOOR, CEILING FAN, LIGHTS.



05. TAPS BACK OF BLOCK 08.

19) VISUAL INSPECTION RESULTS – BLOCK 09 TOILET BLOCK SENIOR GIRLS AND BOYS

Building Index	BLOCK 09							
Type:	Boys and Girls Toilet block					No. of Levels: 1		
Dimensions	Length (m): 12.5m		Width (m): 6m			Height (m): 3m		
Existing State of Building								
REF. No.	Building Component	Good 33	Fair 34	Poor 35	Structure Type 36	Count 37	Comments	
1	Toilet Bays – male	x			Concrete	3	Timber joinery deteriorated.	
2	Toilet Bays – female	x			Concrete	5	Timber joinery deteriorated.	
3	Toilet Partition between boys and girls.	x			Concrete		Block wall full height	
4	Shower bay - male					2	Timber joinery deteriorated.	
5	Shower bay – female					2	Timber joinery deteriorated.	
5	Toilet Bays – accessible						Cubicle width 900mm	
6	Entry to toilet building						Open	
7	Exit to toilet building						Open	
8	Menstrual Hygiene facilities						Bin present. Kit in Admin office.	
9	Students to WASH ratio	Toilet taps:		Male Grades 6-8 (170)		56 :1	Female Grades 6-8 (190)	63 : 1
Comments <ul style="list-style-type: none">● Block 09 constructed out of concrete slab on ground and block walls for both external & internal load bearing. No doors at entry point. Louvre glass on aluminium frame for windows. Gable roof with metal cladding and timber framed roof members. Exit corridor 2.0m clear. Natural light and ventilation satisfactory. Low grade timber material used for Girls cubicle doors.● Block 09 Senior Boys wash room – 3no. water closets, 3no. taps, 2no. showers, 2no. urinal. Block 09 Senior Girls wash room – 5no. water closets, 3no. taps, 2no. showers.● Each student water closet cubicle measured to be 1.6m long by 900mm wide. Whole floor provided with tiles. Wall tiles for shower cubicles.● Outside 8no. taps provided on side wall for general use.● Cisterns, shower heads, hand basins and taps well maintained by the school committee.								
Recommendations <ul style="list-style-type: none">● Replace all deteriorated cubicle doors & joinery with new lock system.● Replace clear louvre blade glass with opaque type window blades for privacy.● Block 09 walls, floor, ceiling to receive good wash and new paint.								

³³ Good - No additional works / intervention required³⁴ Fair - Remedial works required – min CAT 3 standard³⁵ Poor - Demolition and replace with new - min CAT 4 standard³⁶ Type of structure - Timber/concrete/steel³⁷ Count - Used for identifying number of toilet bays and menstrual hygiene facilities

20) PHOTOGRAPHIC REPORT – BLOCK 09 TOILET BLOCK SENIOR GIRLS AND BOYS

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 09



01. SHELTERED WALKWAY TO ABLUTION BLOCK.



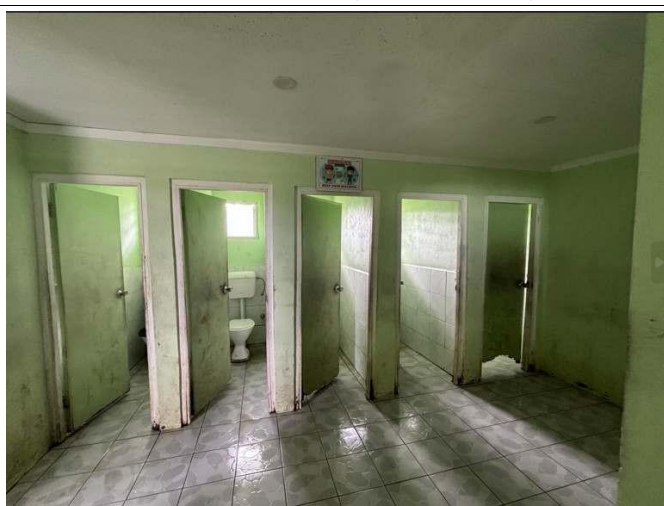
02. GENERAL USE TAPS & WATER TANK SUPPLY.



03. GIRLS SHOWER CUBICLES, JOINERY DECAY, TAPS.



04. BOYS WC CUBICLES, URINAL, TILED FLOOR.



05. GIRLS WC CUBICLES, TILED FLOOR, JOINERY DECAY.



06. BOYS SHOWER CUBICLES, JOINERY DECAY.

21) VISUAL INSPECTION RESULTS – BLOCK 10

Building Index		BLOCK 10				Year built: 2011 (Age: over 10 years old)	
Type:	Ground Floor: Canteen					No. of Levels: 1	
Dimensions		Length (m): 9m	Width (m): 5.5m			Height (m): 3.0m	
Existing State of Building							
REF. No.	Building Component	Good ³⁸	Fair ³⁹	Poor ⁴⁰	Structure Type ⁴¹	Comments	
1	Roof Lining	x			Metal cladding	Roof to receive new paint.	
2	Roof Structure	x			Timber frame	Connections concealed.	
3	Walls	x			Concrete	No signs of crack. Paint finish.	
4	Columns				-		
5	Beams	x			Concrete	No signs of crack. Paint finish.	
6	Floor	x			Concrete	No signs of crack. Tiled finish.	
7	Handrails	x			Metal pipes	Safe height. No damage. Paint finish.	
8	Walkway(s)					Sheltered walkway.	
9	Services – water supply					Tapped off WAF main road	
10	Available taps for general use (excl. taps in toilets)					0 taps	Student – tap ratio = xx : 1
11	Services – electricity					Connected off the gridline main road.	
12	Services – communication					PA system covers whole block. Several safety signs on display.	
13	Drainage					Stormwater diverted into nearby drain.	
Comments							
<ul style="list-style-type: none">Block 10 constructed out of concrete slab on ground and block walls for both external & internal partitions. Wide serve windows and access door on front face. Gable roof with metal cladding and timber framed roof members. Sheltered walkway connected to Canteen. Natural light and ventilation satisfactory.							
Recommendations							
<ul style="list-style-type: none">Block 10 main roof to receive new paint and gutters to be cleaned.Block 10 requires new fire extinguishers with regular tests.							

³⁸ Good - No additional works / intervention required³⁹ Fair - Remedial works required – min CAT 3 standard⁴⁰ Poor - Demolition and replace with new - min CAT 4 standard⁴¹ Type of structure - Timber/concrete/steel

22) PHOTOGRAPHIC REPORT – BLOCK 10

Client:	TETRA TECH INTERNATIONAL DEVELOPMENT (PTY) LTD	School Name:	CMF PRIMARY SCHOOL
Project:	INFRASTRUCTURE PLAN FOR SUVA – NAUSORI SCHOOLS	Building Index:	BLOCK 10



01. SERVING COUNTER, ACCESS DOOR TO CANTEEN KITCHEN



02. CANTEEN TOILET BLOCK.

23) BUILDING AND TOILET BLOCKS ACCESS INFORMATION FOR DISABILITY AUDITS

Building Index	Type	Length (m):	Width (m) :	Height (m) :
Block 01	Ground Floor: Admin Office, Staff Room, Staff Male & Female WC, Storage, HOS	23	6.6, 8	3.0
Block 02	Ground Floor: Optional Room – open space concept	10	7.2, 9	3.4
Block 03	Ground Floor: 3no. Classrooms.	30	7.2, 9	3.4
Block 04	Ground Floor: 2no. Classrooms.	20	7.2, 9	3.4
Block 05	Ground Floor: Optional Room – 6no. Classrooms	60	7.2, 9	3.4
Block 06	Ground Floor: 3no. Classrooms, Boys Toilet, Caretaker Room, Sick Bay First Floor : 3no. Classrooms, Library, Computer	45	7.2, 9	6.4
Block 07	Ground Floor: 4no. Classrooms, Boys Toilet, Girls Toilet, Tool Room First Floor : 4no. Classrooms, Language Room	35	6.4, 8.5	6.4
Block 08	Ground Floor: 2no. Classrooms First Floor : 2no. Classrooms	18	6.4, 8.5	6.4
Block 09	Boys and Girls Toilet block	12.5	6	3.0
Block 10	Ground Floor: Canteen	9	5.5	3.0

Existing State of Building

REF. No.	Building Component	Good ⁴²	Fair ⁴³	Poor ⁴⁴	Structure Type ⁴⁵	Dimensions	Comments
1	Ramps						Conc walkway to all blocks available. All classrooms floor raised from ground. No ramps. Only steps.
2	Walkway clearance space					1.4 - 2.0m wide	Sheltered walkway links all blocks.
3	Handrails				Metal / timber	1.0m high	Railing to all ground & first classroom corridors & staircase.
	Doors and Door Size (typical)				Timber Joinery	900mm wide	Steps to all classroom corridors.
4	Stairway				Concrete	1.2m wide	3no. two storey blocks.

Comments

- All classroom blocks are raised above ground. No ramps at point of entry. Steps leading up to corridor.
- Railing to all ground & first classroom corridors & staircase. Each step is 1.2m wide with approx. 160mm high riser.
- All rooms used as classrooms have two entry / exit points. Clear opening of entry point 900mm to every room.
- Both girls and boys toilet clear opening of each cubicle door is 900mm. Taps for hand wash inside the toilet block is 1.0m high from floor.
- Toilet facilities are not user friendly for disable students. No assist railing & cubicles not wide enough for a wheel chair access.

⁴² Good - No additional works / intervention required

⁴³ Fair - Remedial works required – min CAT 3 standard

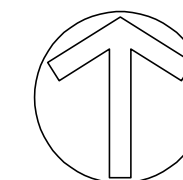
⁴⁴ Poor - Demolition and replace with new - min CAT 4 standard

⁴⁵ Type of structure - Timber/concrete/steel

Appendix B – Excel Scoring Sheet

WEIGHTED CRITERIA		
PART A - CLASSROOM OVERCROWDING (40%)		
1	Classrooms facilitating students beyond room capacity, determined through number of students per classroom and classroom size	
	Poor - most to all classrooms are accommodating students above capacity.	32 to 40
	Criteria Item Score	34.0
PART B - WASH FACILITIES (20%)		
2	WASH- Student ratio based on the Fiji National Building Code (FNBC) Infrastructure Standards (10%)	
	Good - WASH-Student ratio for school toilet blocks meets or exceeds the ratio in the standard specified by FNBC.	0 to 5.9
2.1	Quality of facilities and current condition such as functionality and maintenance (10%)	
	Good - generally school toilet facilities are maintained well with minimal disturbances from the physical infrastructure to the end users.	0 to 5.9
	Criteria Item Score	10.0
PART C - CONDITION OF INFRASTRUCTURE (20%)		
3	Building structure and condition of walls, floors, ceilings, overall structural integrity (10%)	
	Good - most building structures are in good condition, however some may need repairs to improve structural integrity.	0 to 5.9
3.1	Maintenance and assessment of the upkeep of facilities including painting and repairs (10%)	
	Good - generally school facilities are maintained well with minimal disturbances from the physical infrastructure to the end users.	0 to 5.9
	Criteria Item Score	10.0
PART D - DISABILITY ACCESSIBILITY (10%)		
4	Accessibility features such as the presence of existing ramps, handrails, accessible toilets etc	
	Poor - School buildings and facilities do not have accessibility features.	8 to 10
	Criteria Item Score	10.0
PART E - DISASTER RESILIENCE (10%)		
5	Presence and quality of measures for disaster resilience of buildings including structural measures, cyclone shutters and fire safety systems	
	Good - most or all school buildings structures are resilient to natural disasters and have partial safety systems in place. More systems or structural intervention would need to be implemented	0 to 5.9
	Criteria Item Score	5.0
TOTAL CRITERIA SCORE		69.0

Appendix C – Land Available for Expansion



CURRENTLY SENIOR GRADE TOILET BLOCK SHARED WITH ECE STUDENTS. NEW ABLUTION BLOCK TO HAVE 8no. WC, 2 SHOWER CUBICLES, 2no. HAND BASINS FOR GIRLS AND 4no. WC. 2 SHOWER CUBICLES, 2no. HAND BASINS FOR BOYS SEPARATE CUBICLE WITH TOILET SEAT SUITABLE FOR ECE STUDENTS REQUIRED.

SICK BAY WITH 1no. WC USED BY GIRLS. SPACE AVAILABLE TO INTRODUCE CONVERT SICK BAY INTO GIRLS TOILET.



NRW MACALLAN (FIJI) LTD
CONSULTING ENGINEERS

CIVIL, STRUCTURAL & PROJECT MANAGEMENT
79 RATU MARA ROAD, SAMABULA, SUVA.
P O BOX 1208, SUVA, PHONE: (679) 3313 388, FAX (679) 3302903
EMAIL: info@nrwmacallan.com.fj

SCHOOL NAME:

CHRISTIAN MISSION FELLOWSHIP
PRIMARY SCHOOL